

NEAREST NAMED RECEIVING STREAM: _____

IS RECEIVING STREAM ON MISSISSIPPI'S 303(d) LIST OF IMPAIRED WATER BODIES? (The 303(d) list of impaired waters and TMDL stream segments may be found on MDEQ's web site: http://www.deq.state.ms.us/MDEQ.nsf/page/TWB_Total_Maximum_Daily_Load_Section) YES NO

HAS A TMDL BEEN ESTABLISHED FOR THE RECEIVING STREAM SEGMENT? YES NO

ARE THERE RECREATIONAL STREAMS, PRIVATE/PUBLIC PONDS OR LAKES WITHIN ½ MILE DOWNSTREAM OF PROJECT BOUNDARY THAT MAY BE IMPACTED BY THE CONSTRUCTION ACTIVITY? YES NO

EXISTING DATA DESCRIBING THE SOIL (for linear projects please describe in SWPPP):

WILL FLOCCULANTS BE USED TO TREAT TURBIDITY IN STORM WATER? YES NO

IF YES, INDICATE THE TYPE OF FLOCCULANT. ANIONIC POLYACRYLAMIDE (PAM)
 OTHER _____

IF YES, DOES THE SWPPP DESCRIBE THE METHOD OF INTRODUCTION, THE LOCATION OF INTRODUCTION AND THE LOCATION OF WHERE FLOCCULATED MATERIAL WILL SETTLE? YES NO

¹Acreage for subdivision development includes areas disturbed by construction of roads, utilities and drainage. Additionally, a housesite of at least 10,000 ft² per lot (entire lot, if smaller) shall be included in calculating acreage disturbed.

DOCUMENTATION OF COMPLIANCE WITH OTHER REGULATIONS/REQUIREMENTS
COVERAGE UNDER THIS PERMIT WILL NOT BE GRANTED UNTIL ALL OTHER REQUIRED
MDEQ PERMITS AND APPROVALS ARE SATISFACTORILY ADDRESSED

IS LCNOI FOR A FACILITY THAT WILL REQUIRE OTHER PERMITS? YES NO

IF YES, CHECK ALL THAT APPLY: AIR HAZARDOUS WASTE PRETREATMENT
 WATER STATE OPERATING INDIVIDUAL NPDES OTHER: _____

IS THE PROJECT REROUTING, FILLING OR CROSSING A WATER CONVEYANCE OF ANY KIND? (If yes, contact the U.S. Army Corps of Engineers' Regulatory Branch for permitting requirements.) YES NO

IF THE PROJECT REQUIRES A CORPS OF ENGINEER SECTION 404 PERMIT, PROVIDE APPROPRIATE DOCUMENTATION THAT:

- The project has been approved by individual permit, or
- The work will be covered by a nationwide permit and NO NOTIFICATION to the Corps is required, or
- The work will be covered by a nationwide or general permit and NOTIFICATION to the Corps is required

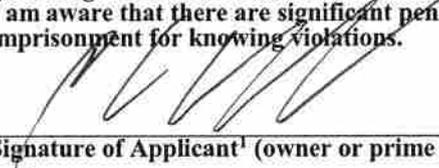
IS A LAKE REQUIRING THE CONSTRUCTION OF A DAM BEING PROPOSED? YES NO
(If yes, provide appropriate approval documentation from MDEQ Office of Land and Water, Dam Safety.)

IF THE PROJECT IS A SUBDIVISION OR A COMMERCIAL DEVELOPMENT, HOW WILL SANITARY SEWAGE BE DISPOSED? Check one of the following and attach the pertinent documents.

- Existing Municipal or Commercial System. Please attach plans and specifications for the collection system and the associated "Information Regarding Proposed Wastewater Projects" form or approval from County Utility Authority in Hancock, Harrison, Jackson, Pearl River and Stone Counties. If the plans and specifications can not be provided at the time of LCNOI submittal, MDEQ will accept written acknowledgement from official(s) responsible for wastewater collection and treatment that the flows generated from the proposed project can and will be transported and treated properly. The letter must include the estimated flow.
- Collection and Treatment System will be Constructed. Please attach a copy of the cover of the NPDES discharge permit from MDEQ or indicate the date the application was submitted to MDEQ (Date: _____.)
- Individual Onsite Wastewater Disposal Systems for Subdivisions Less than 35 Lots. Please attach a copy of the Letter of General Acceptance from the Mississippi State Department of Health or certification from a registered professional engineer that the platted lots should support individual onsite wastewater disposal systems.
- Individual Onsite Wastewater Disposal Systems for Subdivisions Greater than 35 Lots. A determination of the feasibility of installing a central sewage collection and treatment system must be made by MDEQ. A copy of the response from MDEQ concerning the feasibility study must be attached. If a central collection and wastewater system is not feasible, then please attach a copy of the Letter of General Acceptance from the State Department of Health or certification from a registered professional engineer that the platted lots should support individual onsite wastewater disposal systems.

INDICATE ANY LOCAL STORM WATER ORDINANCE WITH WHICH THE PROJECT MUST COMPLY:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.



Signature of Applicant¹ (owner or prime contractor)

8/23/21

Date Signed

Charles Gant

Printed Name¹

Managing Member

Title

¹This application shall be signed as follows:

- For a corporation, by a responsible corporate officer.
- For a partnership, by a general partner.
- For a sole proprietorship, by the proprietor.

For a municipal, state or other public facility, by principal executive officer, mayor, or ranking elected official

Please submit the LCNOI form to:

Chief, Environmental Permits Division
MS Department of Environmental Quality, Office of Pollution Control
P.O. Box 2261
Jackson, Mississippi 39225

**STORMWATER POLLUTION
PREVENTION PLAN**

NARRATIVE

FOR

**TUCKER GROVE
SUBDIVISION**

HARRISON COUNTY, MISSISSIPPI

**OWNER:
FOUNTAINBLEAU, LLC
14397 CREOSOTE ROAD
GULFPORT, MS 39503**

**ENGINEER:
DANIEL R. BOUDREAUX JR., P. E., INC.
17381 S. CARR BRIDGE ROAD
BILOXI, MS 39532**

JUNE 16, 2021

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Narrative of Project

Erosion and Sediment Controls

Construction Sequence

Housekeeping Practices

Maintenance Plan

NARRATIVE OF PROJECT

This project will be a detached single family residential subdivision located on 17.5 acres of property. It is located at the northeast corner of Section 35, Township 6 South, Range 9 West, Harrison County. Generally, the project is located 2.16 miles north of Interstate 10 on the east side of Tucker Road.

Best management practices will be used throughout construction to prevent sediment from leaving the site. The road design will incorporate curb and gutter with underground storm drains. Construction storm water also be treated by two detention pond ponds.

Sanitary sewer and potable water services and treatment will be provided by the West Jackson County Utility District. All utilities will be installed in accordance with all governing State and Local regulatory agencies.

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EROSION AND SEDIMENT CONTROLS

Some of the runoff from the disturbed areas of the site flows through an unnamed natural drainage way to the northeast that leads northeast to Little Biloxi River and some flows to the south through unnamed natural streams to Flat Branch. Best management practices and devices will be used to prevent sediment from leaving the site as follows:

Disturb the smallest possible area.

Preserve as many of the existing trees as possible.

Avoid if possible, disturbing sensitive areas such as:

- Steep and/or unstable slopes
- Land upslope of surface waters
- Areas with soils susceptible to erosion
- Existing drainage channels

Divert upslope water around disturbed areas.

Limit exposure of disturbed areas to the shortest time possible.

Re-vegetate disturbed areas as soon as possible.

Soil stabilization - vegetative stabilization measures must be initiated whenever any clearing, grading, grubbing, excavating or other land disturbing activities have temporarily or permanently ceased on any portion of the site and will not resume for a period of fourteen (14) calendar days or more. The appropriate temporary or permanent vegetative practices shall be initiated immediately. For purposes of this permit "immediately" is interpreted to mean no later than the next work day.

If you are unable to meet the deadlines in the previous paragraph due to circumstances beyond your control, and you are using vegetative cover for temporary or permanent stabilization, you may comply with the following stabilization deadlines instead:

(A) Immediately initiate, and within 14 calendar days, complete the installation of temporary non-vegetative stabilization measures to prevent erosion:

(B) Complete all soil conditioning, seeding, watering or irrigation installation, mulching, and other required activities related to the planting and initial

establishment of vegetation as soon as conditions or circumstances allow it on your site; and,

(C) Document the circumstances that prevent you from meeting the deadlines required and the schedule you will follow for initiating and completing stabilization.

Slow rainfall runoff velocities to prevent erosive flows.

Remove sediment from storm water before it leaves the site by allowing runoff to pond in controlled areas to drop out sediment. Filter runoff by using natural vegetation, brush barriers, silt fences, or hay bales.

Transport runoff down steep slopes through lined channels or tubing.

A Construction Entrance/Exit will be built in the location(s) shown on the attached drawings. Install in accordance with the Best Management Practice Standards.

Silt Fencing will be installed along the wetland areas in the locations shown on the attached drawing. Install in accordance with the Best Management Practice Standards.

The entire area will be roughened, seeded, and mulched in accordance with the Best Management Practice Standards.

Although sediment basins are required only for those drainage points serving 10 acres or greater in size, they will be incorporated into detention ponds during construction by the use of skimmers.

INSPECTION REQUIREMENTS: Inspection of all receiving streams (if feasible), outfalls, erosion and sediment controls and other SWPPP requirements shall be performed during permit coverage using a copy of the form provided in the Large Construction Forms Package, and inspections shall be performed by qualified personnel:

(1) At least weekly for a minimum of four inspections per month; and

(2) After rainfall events that produce a discharge.

Before conducting the site inspection, the inspector should review Chapter 4, Inspector's Checklist and Troubleshooting Chart found in MDEQ's Field Manual for Erosion and Sediment Control on Construction Sites in Mississippi. MDEQ strongly recommends that coverage recipients perform a "walk through" inspection of the construction site before anticipated storm events to ensure controls are in place and will function properly.

The owner or Contractor who has daily control of on-site work shall provide a copy of this SWPPP and training to those employees and subcontractors involved in any activity that may be covered by this plan.

CONSTRUCTION SEQUENCE

- 1 Build Construction Entrance/Exits.
- 2 Install Silt Fencing.
- 3 Construct Detention Ponds.
- 4 Install Skimmers in Detention Pond.
- 5 Excavate Roads and Perform Grading.
- 6 Install Storm Drain System.
- 7 Vegetate entire site.

HOUSEKEEPING PRACTICES

All equipment maintenance and repairs will be performed off-site.

Concrete truck wash out will be performed in an excavated pit to prevent sediment from traveling into ditches and wetlands. This pit will be constructed in an upland area and all surface water will be diverted such that no runoff will flow through this area.

Portable toilet facilities will be provided for all workers during construction.

Trash and debris will be collected and properly disposed of on a daily basis.

Maintain well-organized work areas.

Petroleum products, solvents, or other potentially toxic materials will be stored according to manufacturers recommendations.

MAINTENANCE PLAN

Check all erosion and sediment controls after each significant rainfall but not less than once per week. Make needed repairs within 24 hours. Remove sediment from silt fences when accumulation is 1/2 the fence height. Remove sediment from basins when sediment is 1/3 to 1/2 the basin or pond volume. Replace non-functional silt fencing. Maintain all vegetated areas to provide proper ground cover. Re-seed, fertilize, and mulch as needed.



West Jackson County Utility District

Physical Address:
7200 McCann Road
Biloxi, MS 39532

Mailing Address:
P.O. Box 1230
Ocean Springs, MS 39566-1230

Phone (228) 872-3898

www.wjcud.com

Fax (228) 872-3861

June 1, 2021

Tucker Road Subdivision

PIDN 03535040.000 / 03535040.020

Mr. Daniel Boudreaux JR. P.E.

The West Jackson County Utility District has received your request for a "Conditional Will-Serve". The proposed project known as "Tucker Road Subdivision" is located inside of the Saint Martin community lying east along Tucker road. This project "Tucker Road Subdivision" consists of 57 residential gravity lots with a single phase for construction. Final construction for this project will take up to one year length of time for completion. The West Jackson County Utility District hereby grants a "Conditional Will-Serve" for water and sanitary sewer for this project. Conditional meaning the Design Engineer addresses and meets all review commits and requests called out by the West Jackson County Utility District and the review Engineer.

Before the review process may begin, two sets of complete project plans must be submitted to the WJCUD Will-Serve Office. Submitted plans must contain a complete set of the latest WJCUD adopted detail drawing and speculations.

The following are general plan review comments:

General:

1. Provide two copies of construction submittal packets. Submittal packets must include all water and sewer materials: (i.e. pipe, valves, pumps, motors, controls, ECT.)
2. Provide three full size sets of plans for the project review process.
3. Submitted plans must have West Jackson County Utility District's latest detail drawings attached for review.
4. Provide one set of plans digitally by email to WJCUD and review engineer of the complete water and sewer systems prepared and certified by the Design Engineer.
5. WJCUD shall witness all testing and perform periodic and final inspections. WJCUD must be notified 48 hours prior to start of construction and 72 hours' notice to any excepted tie-ins to existing WJCUD lines.
6. Provide two full size sets of As-Built one in CADD at state plane coordinates of the full water and sewer systems prepared and certified by the Design Engineer, prior to final inspection.
7. Construction shall not begin without written approval from WJCUD.

Sewer:

1. Provide documentation that additional sewer flow will not over load existing gravity system or existing lift station.
2. Provide calculations of flow from proposed lift station inside of project.
3. Complete all the necessary upgrades to existing lift station, mains, etc. to handle added flow from proposed project.
4. All gravity services, mains and lift stations must be installed to WJCUD standards and specifications.

West Jackson County Utility District is an equal opportunity employer and provider.

5. Lift station lot and lift station must be conveyed to WJCUD after completions.
6. PVC SFM to be AWWA c900, class 100 with ductile iron mechanical joints, cement lined, and joint restraints, AWWA C110 or C153.
7. Provide metallic marker tape and #12 AWG tracer wires for all sewer force mains.
8. Insure all lots have services.
9. Gravity sewer mains and services must be constructed from AWWA C900 or SDR 26 pipe
10. All service connection are to be made in predetermined point in sewer main

Water:

1. PVC water mains shall be 4', 6", 8" or 12" in diameter meeting AWWA C900, Class 150 with ductile iron mechanical joints, cement lined, and joint restraints, AWWA C110 or C153.
2. Gate valves shall be resilient seat type meeting AWWA C509 specifications with cast iron valve box cover marked "WATER" PROVIDE 24"X24"X 4" concrete pad around valve box.
3. Provide metallic marker tape and #12 AWG tracer wires for all mains.
4. Water services lines to be 1" HDPE, AWWA C901, DR11.
5. Insure all lots have services.

Testing:

1. Sewer force Mains – Pressure and leakage test at 100 PSI for two hours with leakage not to exceed 10 gallons per inch-mile per 24 hours, with no visible leak.
2. Water Mains – Pressure and leakage test at 150 PSI for two hours with leakage not to exceed 10 gallons per inch –mile per 24 hours, with no visible leak.
3. Gravity mains and service will be pressure tested for leakage
4. Manholes will be vacuum tested for leakage
5. Perform bacteriological testing in accordance with MS Department of Health regulations before placing lines in service.

WJCUD standard drawing and specification for installation of services line, meters and grinders are available for pick up at WJCUD office.

Approval of the pollution control Permit does not waive any requirements of the applicant noted in the "Service Availability Request" or any requirements by other state or Local Agencies.

Sincerely,

Brian Bennett

New Connections / Compliance Manager
West Jackson County Utility District



JOINT APPLICATION AND NOTIFICATION

U.S. ARMY CORPS OF ENGINEERS

MISSISSIPPI DEPARTMENT OF MARINE RESOURCES

MISSISSIPPI DEPARTMENT OF ENVIRONMENTAL QUALITY/OFFICE OF POLLUTION CONTROL

This form is to be used for proposed activities in waters of the United States in Mississippi and for the erection of structures on suitable sites for water dependent industry. Note that some items, as indicated, apply only to projects located in the coastal area of Hancock, Harrison and Jackson Counties.

1. Date

month day year

2. Applicant name, mailing address, phone number and email address:

Agent name, mailing address, phone number and email address:

3. Official use only

COE _____
DMR _____
DEQ _____
A95 _____
DATE RECEIVED _____

4. Project location

Street Address _____ City/Community _____
Name of Waterway _____ Latitude _____ Longitude (if known) _____
Geographic location: Section _____ Township _____ Range _____ County _____

5. Project description

New work ___ Maintenance work ___

Dredging

___ Channel	length _____	width _____	existing depth _____	proposed depth _____
___ Canal	length _____	width _____	existing depth _____	proposed depth _____
___ Boat Slip	length _____	width _____	existing depth _____	proposed depth _____
___ Marina	length _____	width _____	existing depth _____	proposed depth _____
___ Other-Mooring Basin	length _____	width _____	existing depth _____	proposed depth _____

Cubic yards of material to be removed _____ Type of material _____
Location of spoil disposal area _____
Dimensions of spoil area _____ Method of excavation _____
How will excavated material be contained? _____

Construction of structures

___ Bulkhead	Total length _____	Height above water _____	
___ Pier	length _____	width _____	height _____
___ Boat Ramp	length _____	width _____	slope _____
___ Boat House	length _____	width _____	height _____

___ Structures on designed sites for water dependent industry (Coastal area only). Explain in item 11 or include as attachment.

___ Other (explain) _____

Filling

Dimensions of fill area _____
Cubic yards of fill _____ Type of fill _____

Other regulated activities (i.e. Seismic exploration, burning or clearing of marsh) Explain.

6. Additional information relating to the proposed activity

Does project area contain any marsh vegetation? Yes _____ No _____

(If yes, explain) _____

Is any portion of the activity for which authorization is sought now complete? Yes _____ No _____

(If yes, explain) _____

Month and year activity took place _____

If project is for maintenance work on existing structures or existing channels, describe legal authorization for the existing work. Provide permit number, dates or other form(s) of authorization. _____

Has any agency denied approval for the activity described herein or for any activity that is directly related to the activity described herein?

Yes _____ No _____ (If yes, explain) _____

7. Project schedule

Proposed start date _____ Proposed completion date _____

Expected completion date (or development timetable) for any projects dependent on the activity described herein. _____

8. Estimated cost of the project _____

9. Describe the purpose of this project. Describe the relationship between this project and any secondary or future development the project is designed to support. _____

Intended use: Private _____ Commercial _____ Public _____ Other (Explain) _____

10. Describe the public benefits of the proposed activity and of the projects dependent on the proposed activity. Also describe the extent of public use of the proposed project.

11. Narrative Project Description:

12. Provide the names and addresses of the adjacent property owners. Also identify the property owners on the plan view of the drawing described in Attachment "A". (Attach additional sheets if necessary.)

1.

2.

13. List all approvals or certifications received or applied for from Federal, State and Local agencies for any structures, construction, discharges, deposits or other activities described in this application. Note that the signature in Item 14 certifies that application has been made to or that permits are not required from the following agencies. If permits are not required, place N/A in the space for Type Approval.

<u>Agency</u>	<u>Type Approval</u>	<u>Application Date</u>	<u>Approval Date</u>
Dept. of Environmental Quality			
Dept. of Marine Resources			
Army Corps of Engineers			
City/County _____			
Other _____			

14. Certification and signatures

Application is hereby made for authorization to conduct the activities described herein. I agree to provide any additional information/data that may be necessary to provide reasonable assurance or evidence to show that the proposed project will comply with the applicable state water quality standards or other environmental protection standards both during construction and after the project is completed. I also agree to provide entry to the project site for inspectors from the environmental protection agencies for the purpose of making preliminary analyses of the site and monitoring permitted works. I certify that I am familiar with and responsible for the information contained in this application, and that to the best of my knowledge and belief, such information is true, complete and accurate. I further certify that I am the owner of the property where the proposed project is located or that I have a legal interest in the property and that I have full legal authority to seek this permit.

U.S.C. Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willingly falsifies, conceals, or covers up by any trick, scheme or device a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than five years, or both.

Mississippi Coastal Program (Coastal area only)

I certify that the proposed project for which authorization is sought complies with the approved Mississippi Coastal Program and will be conducted in a manner consistent with the program.



Signature of Applicant or Agent

Date

15. Fees

Payable to MS Dept. of Marine Resources
\$50.00 Single-family residential application fee
\$500.00 Commercial application fee
Public notice fee may be required

Please include appropriate fees for all projects proposed in coastal areas of Hancock, Harrison and Jackson Counties.

16. If project is in Hancock, Harrison or Jackson Counties, send one completed copy of this application form and appropriate fees listed in Item 15 to:

Department of Marine Resources
Bureau of Wetlands Permitting
1141 Bayview Avenue
Biloxi, MS 39530
(228) 374-5000

If project IS NOT in Hancock, Harrison or Jackson Counties, send one completed copy of this application form to each agency listed below:

District Engineer
Mobile District
Attn: CESAM-RD
P.O. Box 2288
Mobile, AL 36628-0001

District Engineer
Vicksburg District
Regulatory Branch
Attn: CEMVK-OD-F
4155 Clay Street
Vicksburg, MS 39183-3435

Director
Mississippi Dept. of Environmental Quality
Office of Pollution Control
P.O. Box 10385
Jackson, MS 39289

17. In addition to the completed application form, the following attachments are required:***Attachment "A" Drawings***

Provide a vicinity map showing the location of the proposed site along with a written description of how to reach the site from major highways or landmarks. Provide accurate drawings of the project site with proposed activities shown in detail. All drawings must be to scale or with dimensions noted on drawings and must show a plan view and cross section or elevation. Use 8 1/2 x 11" white paper or drawing sheet attached.

Attachment "B" Authorized Agent

If applicant desires to have an agent or consultant act in his behalf for permit coordination, a signed authorization designating said agent must be provided with the application forms. The authorized agent named may sign the application forms and the consistency statement.

Attachment "C" Environmental Assessment (Coastal Area Only)

Provide an appropriate report or statement assessing environmental impacts of the proposed activity and the final project dependent on it. The project's effects on the wetlands and the effects on the life dependent on them should be addressed. Also provide a complete description of any measures to be taken to reduce detrimental offsite effects to the coastal wetlands during and after the proposed activity. Alternative analysis, minimization and mitigation information may be required to complete project evaluation.

Attachment "D" Variance or Revisions to Mississippi Coastal Program (Coastal area only)

If the applicant is requesting a variance to the guidelines in Section 2, Part III or a revision to the Coastal Wetlands Use Plan in Section 2, Part IV of the Rules, Regulations, Guidelines and Procedures of the Mississippi Coastal Program, a request and justification must be provided.

Attachment "A" Drawings

Attachment “A”

Drawings

Tucker Grove Subdivision

+/- 17.8 ac Project Area

Section 35; Township 6-South; Range 9-West

Ocean Springs, Jackson County, MS



FIGURE 1
 Purpose: Permit Drawing
 Base Map: ESRI USA Topo Maps
 Source: USGS, NGS & i-cubed
 Map Date: July 21, 2021



**ECOLOGICAL
 ASSET
 MANAGEMENT, LLC**

**PROJECT LOCATION
 MAP**

**Permit Drawing for +/- 17.8 ac.
 Tucker Grove Subdivision
 on Tucker Road**

Location: Ocean Springs, MS
 Portion of Section 35;
 Township-6-South; Range-9-West
 County: Jackson County, MS

Figure 1: Project Location of Tucker Grove Subdivision; Ocean Springs, Jackson County, MS

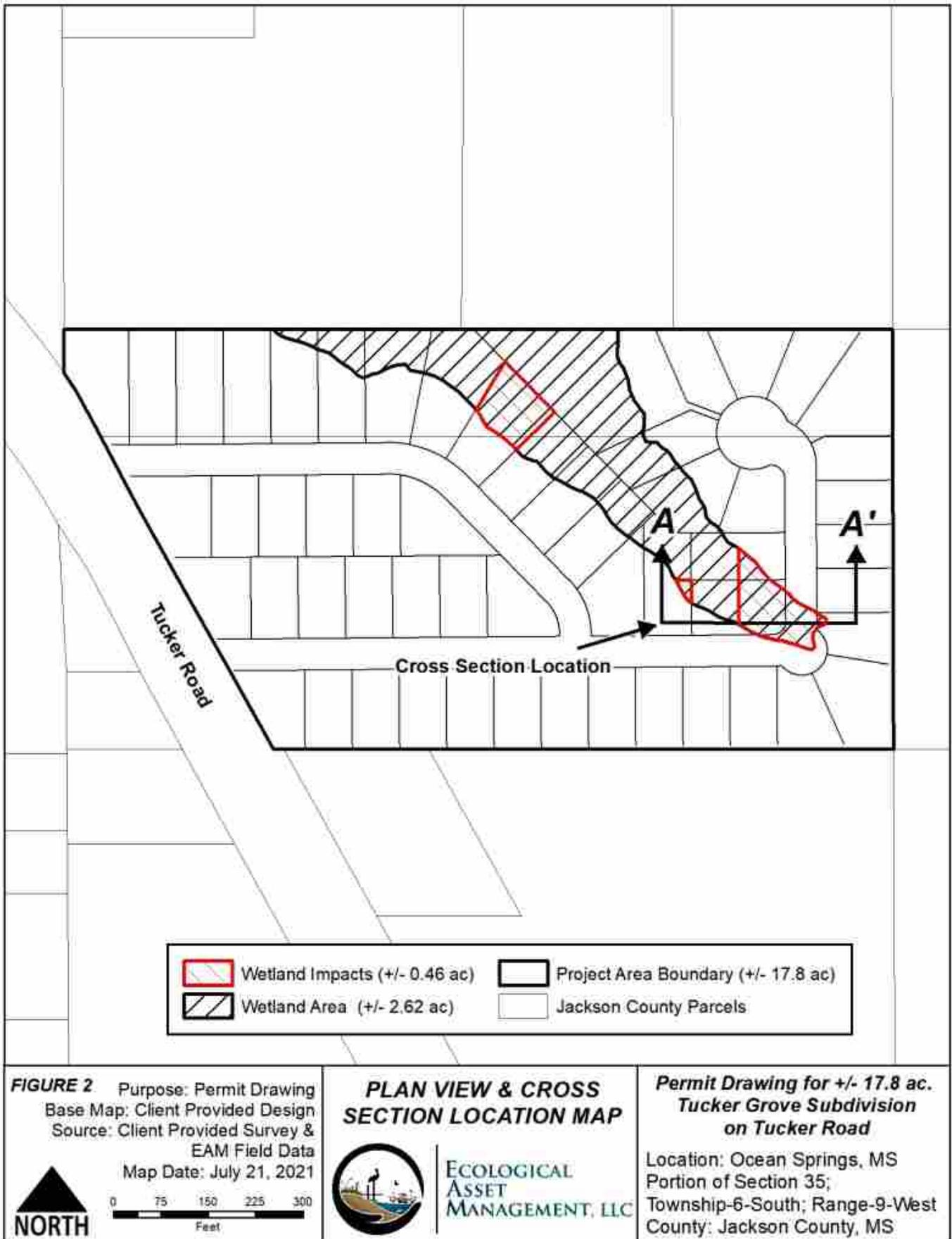


Figure 2: Plan View and Cross Section Map of Tucker Grove Subdivision; Ocean Springs, Jackson County, MS

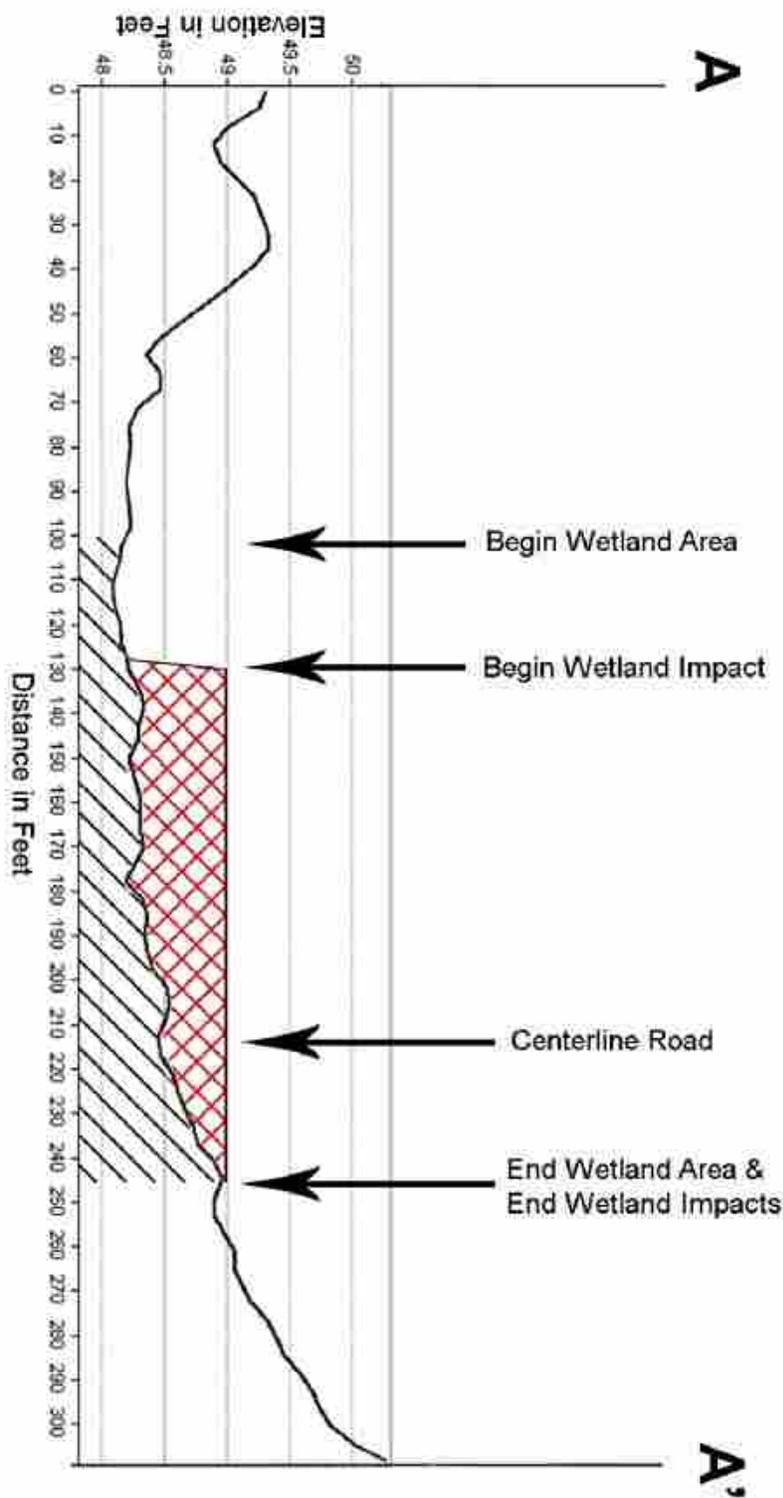


FIGURE 3 Purpose: Permit Drawing
 Base Map: USGS (2014) LIDAR
 Digital Elevation Model
 Source: MARIS & EAM
 Map Date: July 21, 2021



SCALE: As Shown



**TYPICAL
 CROSS SECTION**

**ECOLOGICAL
 ASSET
 MANAGEMENT, LLC**

**Permit Drawing for +/- 17.8 ac.
 Tucker Grove Subdivision
 on Tucker Road**

Location: Ocean Springs, MS
 Portion of Section 35;
 Township-6-South; Range-9-West
 County: Jackson County, MS

Figure 3: Typical Cross Section of Tucker Grove Subdivision; Ocean Springs, Jackson County, MS

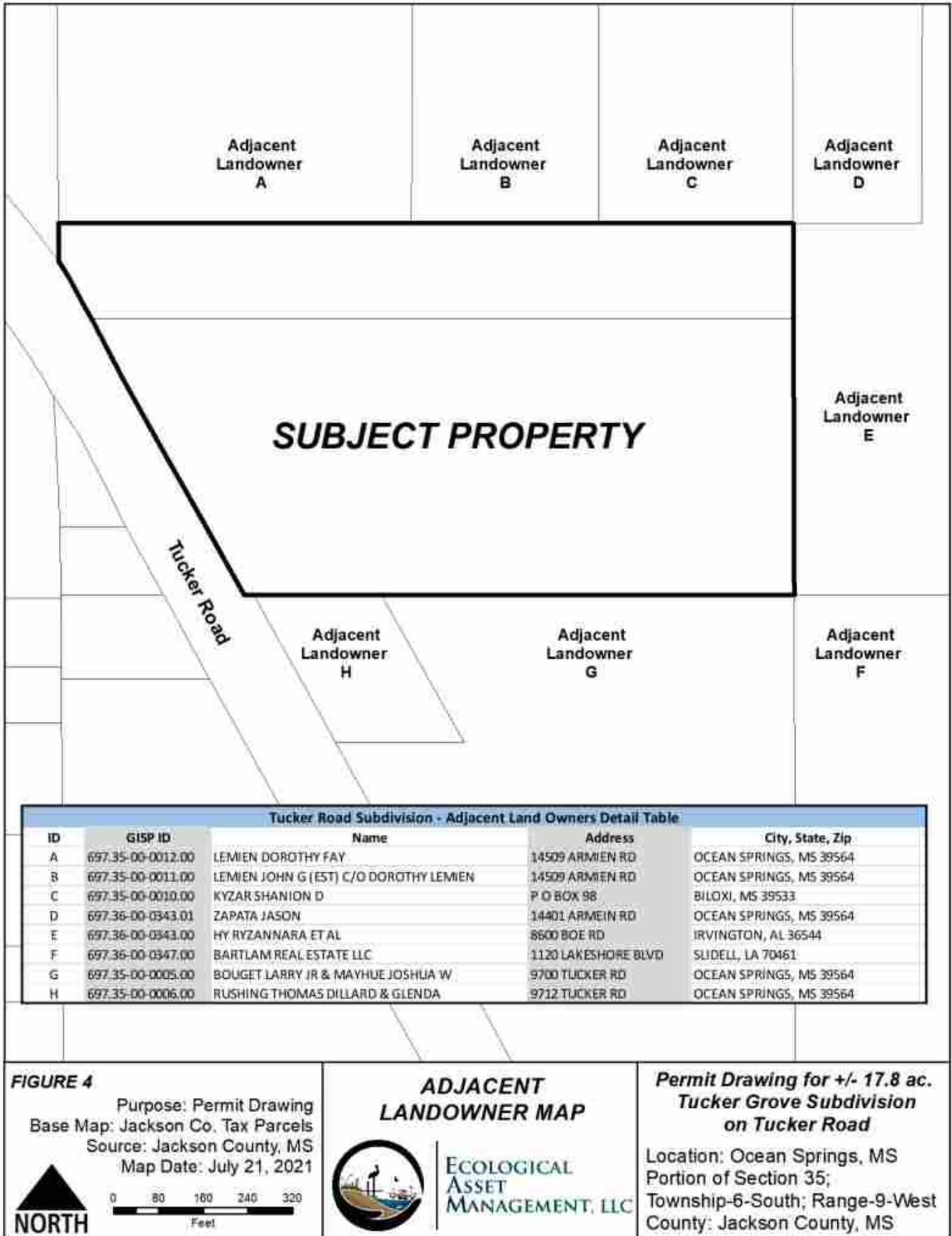
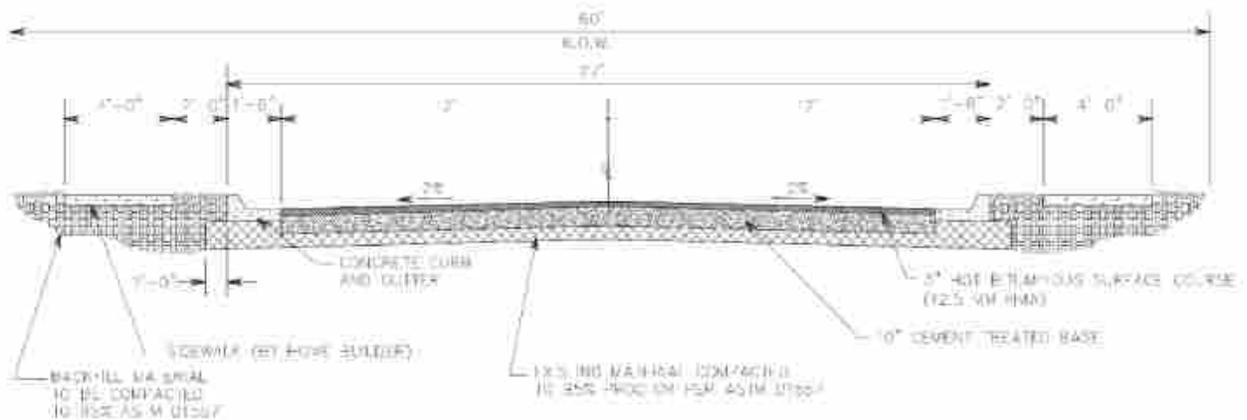


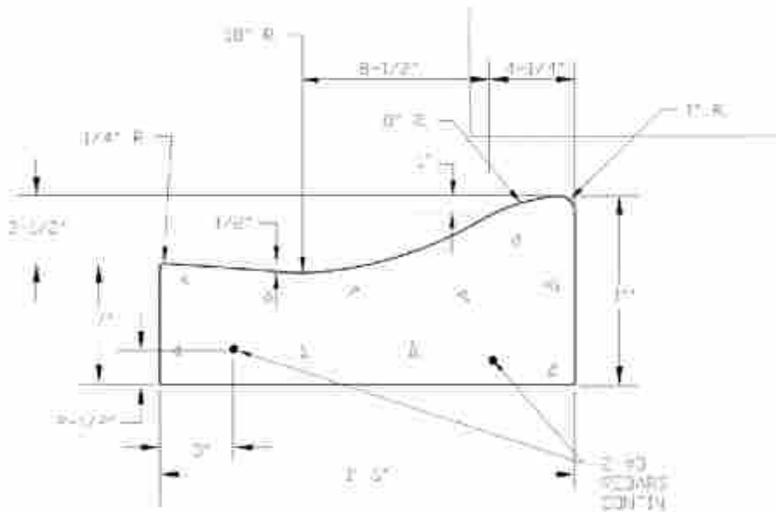
Figure 4: Adjacent Land Owner Map for Tucker Grove Subdivision; Ocean Springs, Jackson County, MS



ASPHALT STREET SECTION

NOTES:

- 1.) CENTERLINE ELEVATION IS EQUAL TO TOP OF CURB ELEVATION
- 2.) WHEELCHAIR RAMPS REQUIRED AT EVERY INTERSECTION
- 3.) STREET LIGHTS SHALL BE LOCATED 2' FROM BACK OF SIDEWALK



NOTE: CONTRACTION JOINT EACH 10'
EXPANSION JOINT EACH 40'
AND AT CURVE POINTS

ROLLED TYPE CURB AND GUTTER

NOTES:

FIGURE 5

Purpose: Permit Drawing
Base Map: Client Provided CAD
Source: Client Provided CAD
Map Date: July 21, 2021



SCALE: As Shown

TYPICAL STREET & CURB AND GUTTER

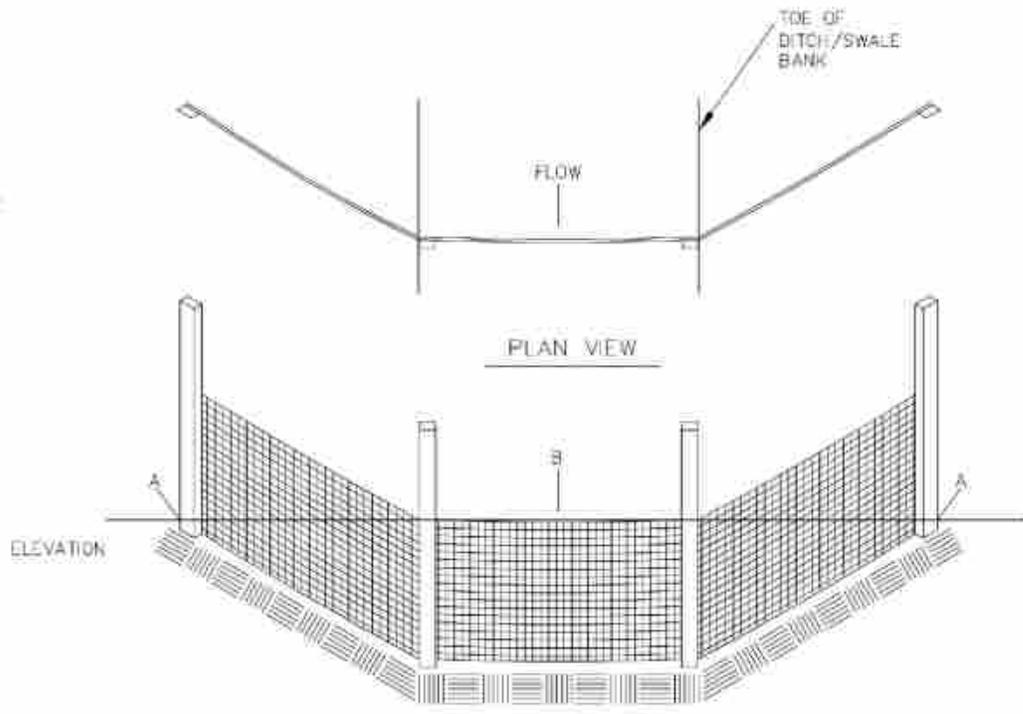


**ECOLOGICAL
ASSET
MANAGEMENT, LLC**

**Permit Drawing for +/- 17.8 ac.
Tucker Grove Subdivision
on Tucker Road**

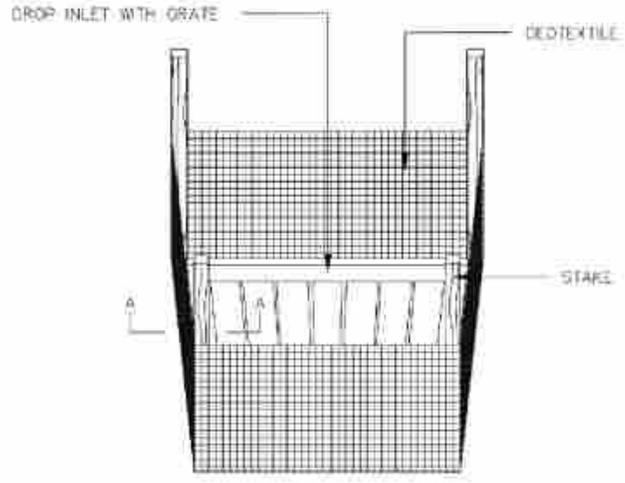
Location: Ocean Springs, MS
Portion of Section 35;
Township-6-South; Range-9-West
County: Jackson County, MS

Figure 5: Typical Street & Curb and Gutter Drawing for Tucker Grove Subdivision; Ocean Springs, Jackson County, MS



POINTS A SHOULD BE HIGHER THAN POINT B.

SILT FENCE DITCH/SWALE PROTECTION



SILT FENCE INLET PROTECTION

FIGURE 6
 Purpose: Permit Drawing
 Base Map: Client Provided CAD
 Source: Client Provided CAD
 Map Date: July 21, 2021



SCALE: As Shown



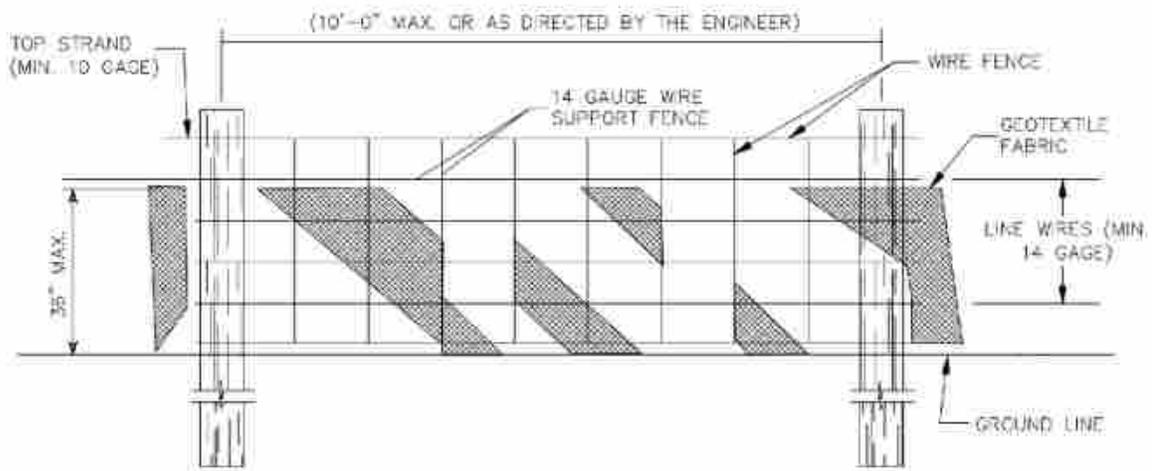
SILT FENCE DETAILS

ECOLOGICAL ASSET MANAGEMENT, LLC

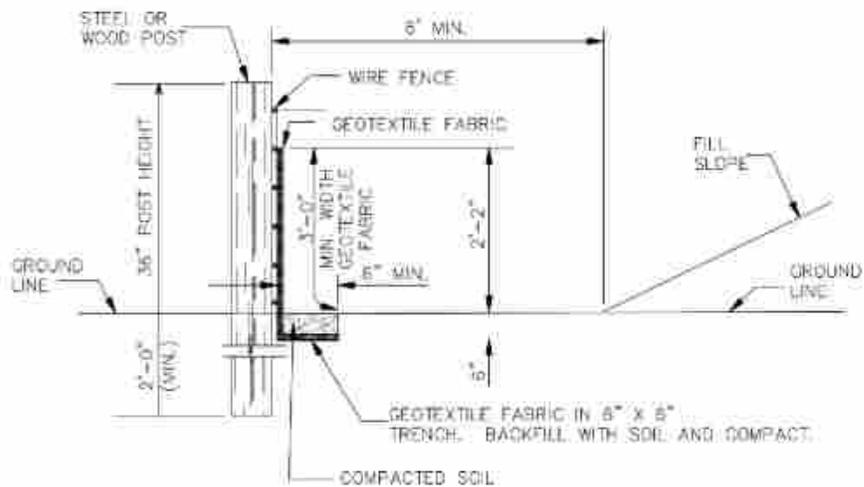
**Permit Drawing for +/- 17.8 ac.
 Tucker Grove Subdivision
 on Tucker Road**

Location: Ocean Springs, MS
 Portion of Section 35;
 Township-6-South; Range-9-West
 County: Jackson County, MS

Figure 6: Silt Fence Details for Tucker Grove Subdivision; Ocean Springs, Jackson County, MS



FRONT ELEVATION



SIDE ELEVATION

FIGURE 7

Purpose: Permit Drawing
 Base Map: Client Provided CAD
 Source: Client Provided CAD
 Map Date: July 21, 2021



SCALE: As Shown



**ECOLOGICAL
 ASSET
 MANAGEMENT, LLC**

**SILT FENCE
 DETAILS**

**Permit Drawing for +/- 17.8 ac.
 Tucker Grove Subdivision
 on Tucker Road**

Location: Ocean Springs, MS
 Portion of Section 35;
 Township-6-South; Range-9-West
 County: Jackson County, MS

Figure 7: Silt Fence Details for Tucker Grove Subdivision; Ocean Springs, Jackson County, MS

Attachment “B”

Agent Authorization

Tucker Grove Subdivision

+/- 17.8 ac Project Area

Section 35; Township 6-South; Range 9-West

Ocean Springs, Jackson County, MS



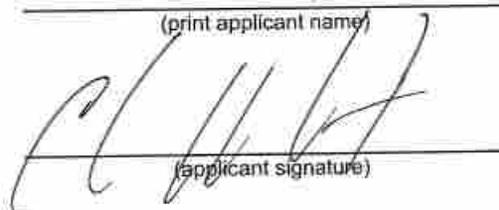
MISSISSIPPI DEPARTMENT OF MARINE RESOURCES

Agent Authorization

I authorize the person(s) and/or company listed below to act as my agent regarding the proposed project as described in the Joint Application and Notification at the location listed below:

<u>Ecological Asset Management</u>	<u>Tucker Road - Tucker Grove Subdivision</u>
<u>c/o Mitch R. Tinsley</u> (name of agent)	<u>(location of project)</u>
<u>803 Highway 90</u> (address)	<u>Section 35, Township 6-S, Range 9-West</u>
<u>Bay St. Louis, MS, 39520</u> (city, state, zip code)	<u>Ocean Springs, Jackson Co. MS</u>
<u>C: 228-216-7450, O:228-231-1077</u> (agent phone number)	

Fountainbleau Development, LLC
(print applicant name)


(applicant signature)

7-14-2021
(date)

Do you want the permit mailed to the agent? Yes No